



YOUR INSPECTION REPORT

The best home inspection experience available.

PREPARED BY:

David Humphrey



FOR THE PROPERTY AT:

5025 Sungate Ranch Rd
Santa Barbara, CA 93111

PREPARED FOR:

T^A|a}c

INSPECTION DATE:

Wednesday, July 17, 2013



**SANTA BARBARA
HOME INSPECTOR**
www.sbhomeinspector.com

Santa Barbara Home Inspector
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SUMMARY

5025 Sungate Ranch Rd, Santa Barbara, CA July 17, 2013

Report No. 1078, v.0

www.sbhomeinspector.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

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INTERIOR

This report begins with a Summary section. The Summary section simply isolates all of the inspectors recommendations from the other sections in the report and groups them together in list form for easy reference.

More comprehensive descriptions and details, including pictures, will be found in the sections following the Summary section. The Summary is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

In this report each recommendation begins with a Condition. It is important to note that all homes, even brand new homes, have existing conditions that are notable. Conditions are not necessarily defects nor does each condition necessarily demand immediate remediation.

In the Summary section of this report Conditions are broken down into sub-categories to help the reader decide both the priority and necessity of addressing any recommendations. The Condition will be highlighted with a color that corresponds to one of the following sub-categories:

Red= Health and Safety (Recommend evaluation and repair of these conditions as soon as practical by a licensed contractor or appropriate technician.)

Yellow= Malfunction or Defect (Recommend evaluation and repair of these conditions by a licensed contractor or appropriate technician.)

Orange= Maintenance (Recommend routine maintenance by a person with the appropriate skill set.)

Pink= Upgrade or Caution (Upgrades are usually conditions that were acceptable at the time of construction but do not satisfy present standards. Cautions are for the purpose of disclosing conditions that may require extra care or monitoring.)

[Priority Maintenance Items](#)

Roofing

SLOPED ROOFING \ Clay/concrete/fiber cement

Condition: • **Missing, loose or broken pieces**

Implication(s): Chance of water damage to contents, finishes and/or structure | Damage or physical injury due to falling materials

Location: Throughout

Task: Repair or replace

Cost: \$800

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Exterior

ROOF DRAINAGE \ Gutters

Condition: • **Missing**

There are gutters and downspouts in two areas of the home but many areas are without.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various

Task: Provide

Cost: \$2,500 - \$3,000

ROOF DRAINAGE \ Downspouts

Condition: • **Downspouts end too close to building**

The downspouts were observed discharging too close to the structure. Recommend elongating end of downspout to direct run-off further away from structure.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Both downspouts

Task: Extend as needed

Cost: Less than \$100

WALLS \ Soffits and fascia

Condition: • **Rot or insect damage**

Several areas of dry rot and insect damage were observed on various parts of the fascia and soffit. Recommend pest inspection and repairing as needed.

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Various

Task: Pest inspection and repair

Cost: \$1,000 - \$1,500

WALLS \ Trim

Condition: • **Rot or insect damage**

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Various

Task: Pest inspection and repair

Cost: \$200 - \$300

DOORS \ Doors and frames

Condition: • **Rot or insect damage**

Implication(s): Cosmetic defects | Chance of damage to finishes and structure

Location: Garage

Task: Repair or replace

Cost: \$200

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LANDSCAPING \ Lot grading

Condition: • Improper slope

Although the walkways are properly sloped away from the home, the planter areas on the west and south and the open area on the east are not. This is putting the foundation at risk of seasonal undermining from run off.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: West, South and East side of house

Task: Regrade and install drains

Cost: \$3500-\$4000

Structure

ROOF FRAMING \ Rafters/trusses

Condition: • Mechanical damage

A truss was cut to make room for the furnace. Recommend reinforcing the rafter portion of the truss with a sister 2x6 to spread the load to the other braces.

Implication(s): Weakened structure | Chance of structural movement

Location: Attic

Task: Repair

Cost: Less than \$100

ROOF FRAMING \ Sheathing

Condition: • A hole in the sheathing was noted and should be patched to prevent moisture intrusion.

Implication(s): Possible moisture intrusion

Location: Attic

Task: Repair

Cost: Less than \$100

Electrical

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • Ground Fault Interrupter (GFI) needed

GFCI receptacles are required by the US National Electrical Code in locations where water and electricity are likely to come into contact, such as in kitchens, bathrooms, garages, and outdoors. Some areas had the required receptacles while others did not. Recommend having a licensed electrician install and replace GFCI receptacles as needed.

Implication(s): Electric shock

Location: Various

Task: Provide as needed

Cost: \$15 each plus installation

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Insulation and Ventilation

ATTIC/ROOF \ Party wall

Condition: • Penetrated

The firewall in the garage was breached and should be patched.

Implication(s): Fire hazard

Location: Garage Attic

Task: Repair

Cost: \$300

Plumbing

WATER HEATER \ Tank

Condition: • Seismic Bracing Incorrect

The seismic strapping should be 4" above controls and lower than the T and P valve without resting on it.

Implication(s): Equipment damage

Location: Garage

Task: Correct

Cost: Less than \$100

Condition: • Safety pan and drain missing

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Garage

Task: Provide

Cost: Less than \$100

FIXTURES AND FAUCETS \ Bathtub

Condition: • Grout loose, missing or deteriorated

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Master Bathroom

Task: Repair

Cost: Less than \$100

FIXTURES AND FAUCETS \ Shower stall

Condition: • Caulking loose, missing or deteriorated

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Master Bathroom

Task: Seal with appropriate caulking

Cost: Less than \$100

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Interior

WINDOWS \ Hardware

Condition: • Broken

Broken hardware was observed on several windows.

Implication(s): Cosmetic defects | System inoperative or difficult to operate

Location: Throughout

Task: Replace

Cost: \$300 - \$400

THIS CONCLUDES THE SUMMARY SECTION

The costs (if any) provided are the opinion of the Home Inspector at the time of the report and are based on his professional experience as a CA State Licensed General Contractor and regional averages. They are not a solicitation to perform work nor should they be relied upon as anything other than a ballpark estimate.

DESCRIPTION OF REPORT

The report that follows includes a Description of the systems and components in the house as well as any Limitations that may have restricted my inspection. The most important part of the report is the Recommendations section. It is here that I identify any defects in the home and suggest improvements.

Please read the report carefully, and feel free to ask any questions that you may have. Again, I will remind you that a home inspection addresses visually accessible components of the home, and does not include destructive testing. I will operate mechanical systems with normal homeowner controls. Where there are many systems of a similar type in a home, I inspect a representative sample.

As you read the report, I encourage you to contact me if you have any questions about the report or the home.

[Home Improvement - ballpark costs](#)

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Description

Sloped roofing material:

- [Concrete tile](#)



1. Concrete tile

Limitations

Inspection performed: • From roof edge

Recommendations

SLOPED ROOFING \ Clay/concrete/fiber cement

1. **Condition:** • [Missing, loose or broken pieces](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Damage or physical injury due to falling materials

Location: Throughout

Task: Repair or replace

Cost: \$800

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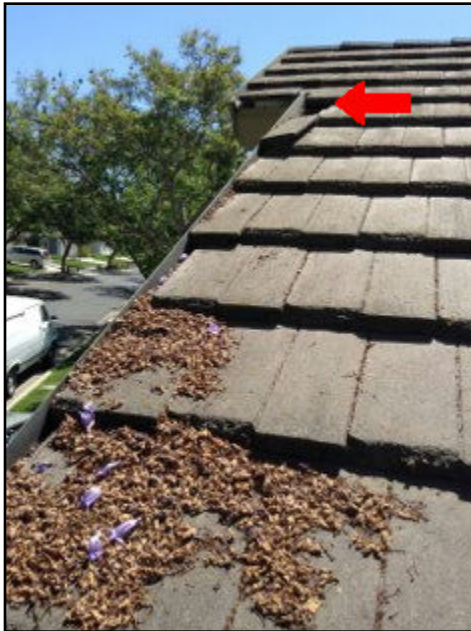
INTERIOR



2. Missing, loose or broken pieces



3. Missing, loose or broken pieces



4. Missing, loose or broken pieces



5. Missing, loose or broken pieces

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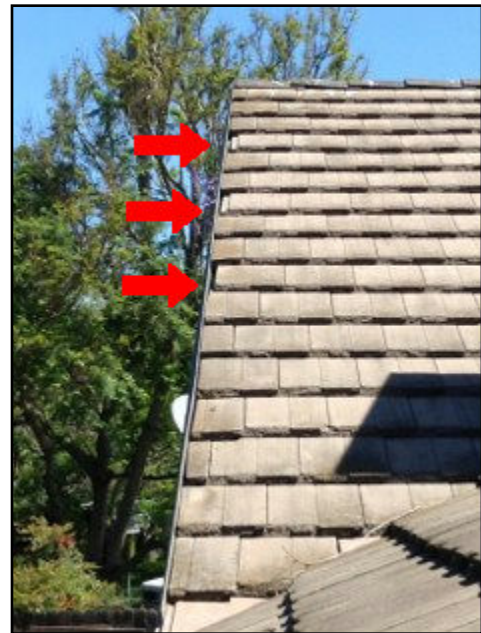
6. Missing, loose or broken pieces



7. Missing, loose or broken pieces



8. Missing, loose or broken pieces



9. Missing, loose or broken pieces

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10. Missing, loose or broken pieces



11. Missing, loose or broken pieces

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Description

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Flat](#)

Wall surfaces : • Wood siding

Soffit and fascia: • [Wood](#)

Recommendations

ROOF DRAINAGE \ Gutters

2. Condition: • [Missing](#)

There are gutters and downspouts in two areas of the home but many areas are without.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various

Task: Provide

Cost: \$2,500 - \$3,000



12. Missing



13. Missing

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14. Missing



15. Missing

ROOF DRAINAGE \ Downspouts

3. Condition: • [Downspouts end too close to building](#)

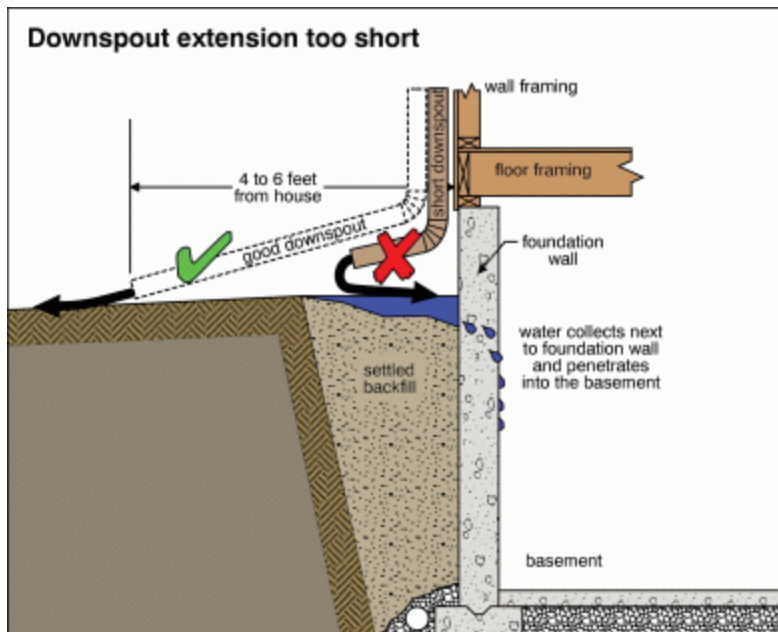
The downspouts were observed discharging too close to the structure. Recommend elongating end of downspout to direct run-off further away from structure.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Both downspouts

Task: Extend as needed

Cost: Less than \$100



[Click on image to enlarge.](#)

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16. Downspouts end too close to building



17. Downspouts end too close to building

WALLS \ Soffits and fascia

4. Condition: • [Rot or insect damage](#)

Several areas of dry rot and insect damage were observed on various parts of the fascia and soffit. Recommend pest inspection and repairing as needed.

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Various

Task: Pest inspection and repair

Cost: \$1,000 - \$1,500



18. Rot or insect damage



19. Rot or insect damage

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20. Rot or insect damage



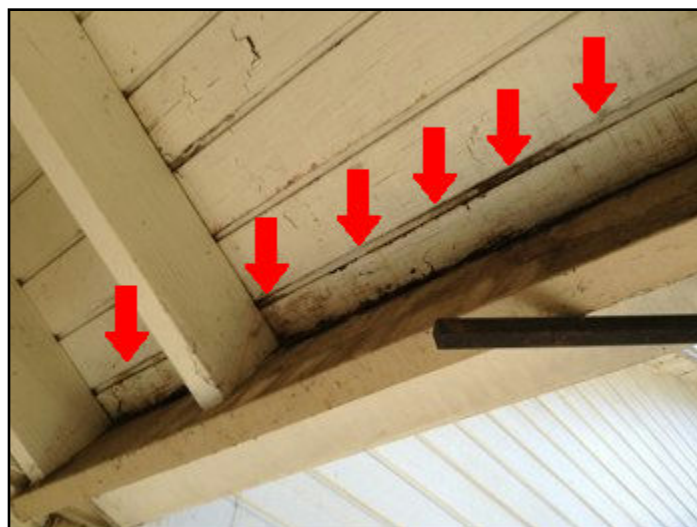
21. Rot or insect damage



22. Rot or insect damage



23. Rot or insect damage



24. Rot or insect damage

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WALLS \ Trim

5. Condition: • [Rot or insect damage](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Various

Task: Pest inspection and repair

Cost: \$200 - \$300



25. Rot or insect damage



26. Rot or insect damage



27. Rot or insect damage



28. Rot or insect damage

EXTERIOR

- SUMMARY
- ROOFING
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- INSULATION
- PLUMBING
- INTERIOR



29. Rot or insect damage



30. Rot or insect damage

DOORS \ Doors and frames

6. Condition: • [Rot or insect damage](#)

Implication(s): Cosmetic defects | Chance of damage to finishes and structure

Location: Garage

Task: Repair or replace

Cost: \$200



31. Rot or insect damage



32. Rot or insect damage

LANDSCAPING \ Lot grading

7. Condition: • [Improper slope](#)

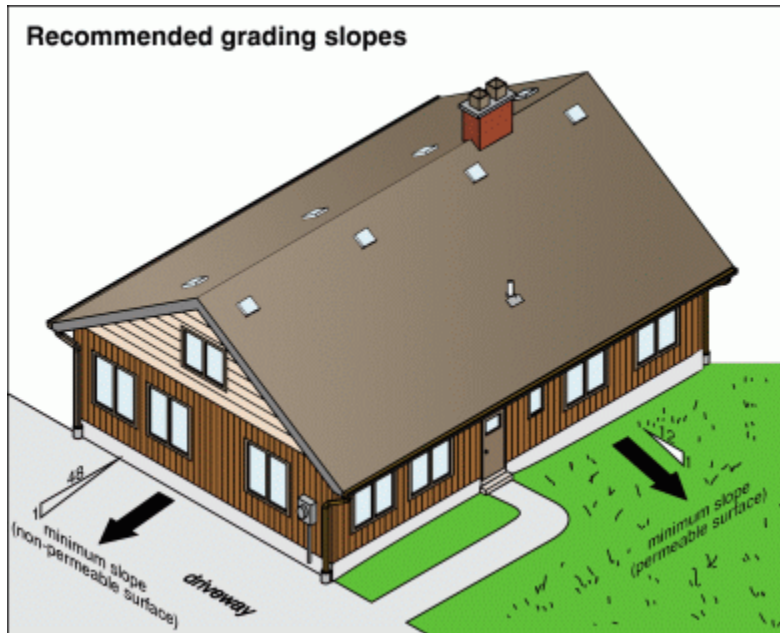
Although the walkways are properly sloped away from the home, the planter areas on the west and south and the open area on the east are not. This is putting the foundation at risk of seasonal undermining from run off.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: West, South and East side of house

Task: Regrade and install drains

Cost: \$3500-\$4000



[Click on image to enlarge.](#)



33. Improper slope



34. Improper slope

Description

General: • Structure



35. Structure

Configuration: • [Slab-on-grade](#)

Foundation material: • [Poured concrete](#)

Floor construction: • [Concrete](#)

Exterior wall construction: • [Wood frame](#)

Roof and ceiling framing: • [Trusses](#) • [OSB \(Oriented Strand Board\) sheathing](#)

Limitations

Inspection limited/prevented by: • Wall, floor and ceiling coverings • Storage

Recommendations

FOUNDATIONS \ Performance

8. Condition: • No defects noted

ROOF FRAMING \ Rafters/trusses

9. Condition: • [Mechanical damage](#)

A truss was cut to make room for the furnace. Recommend reinforcing the rafter portion of the truss with a sister 2x6 to spread the load to the other braces.

Implication(s): Weakened structure | Chance of structural movement

Location: Attic

Task: Repair

Cost: Less than \$100



36. Mechanical damage

ROOF FRAMING \ Sheathing

10. Condition: • A hole in the sheathing was noted and should be patched to prevent moisture intrusion.

Implication(s): Possible moisture intrusion

Location: Attic

Task: Repair

Cost: Less than \$100



37. Hole in sheathing

Description

Service entrance cable and location: • [Overhead copper](#)

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box rating:

• [200 Amps](#)



38. 200 Amps

Main disconnect/service box type and location:

• [Breakers -exterior wall](#)



39. Breakers -exterior wall



40. Breakers -exterior wall

System grounding material and type: • [Copper - water pipe and ground rod](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • Inconsistent- throughout

Smoke detectors: • [Present](#)

Carbon monoxide (CO) detectors: • Present

Limitations

System ground: • Quality of ground not determined

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Recommendations

DISTRIBUTION SYSTEM \ Outlets (receptacles)

11. Condition: • [Ground Fault Interrupter \(GFI\) needed](#)

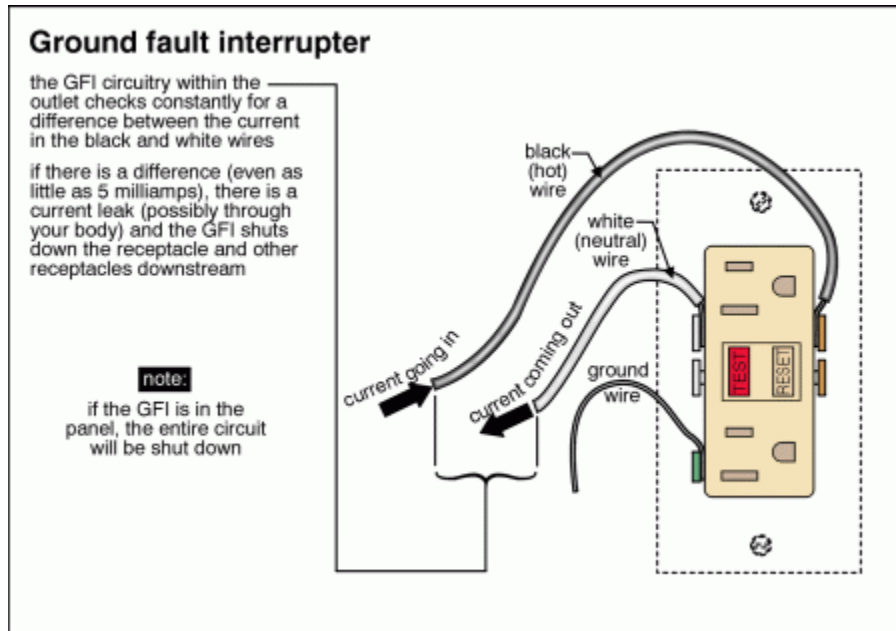
GFCI receptacles are required by the US National Electrical Code in locations where water and electricity are likely to come into contact, such as in kitchens, bathrooms, garages, and outdoors. Some areas had the required receptacles while others did not. Recommend having a licensed electrician install and replace GFCI receptacles as needed.

Implication(s): Electric shock

Location: Various

Task: Provide as needed

Cost: \$15 each plus installation



ELECTRICAL

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41. Ground Fault Interrupter (GFI) needed



42. Ground Fault Interrupter (GFI) needed



43. Ground Fault Interrupter (GFI) needed



44. Ground Fault Interrupter (GFI) needed



45. Ground Fault Interrupter (GFI) needed



46. Ground Fault Interrupter (GFI) needed

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47. Ground Fault Interrupter (GFI) needed

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Description

Fuel/energy source: • [Gas](#)

System type:

• [Furnace](#)

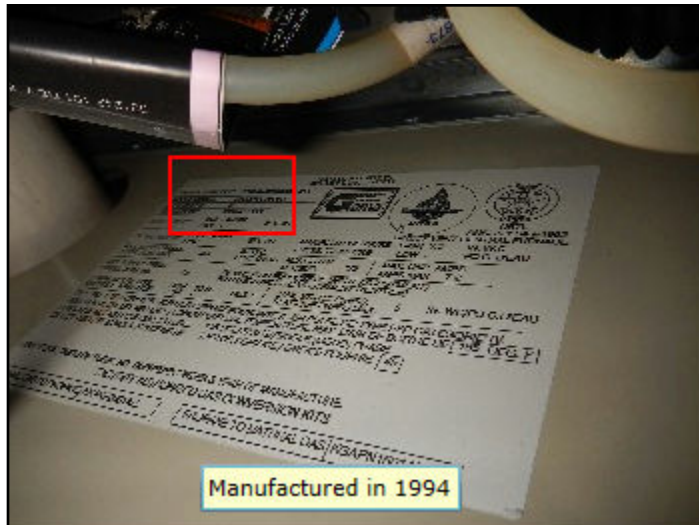


48. Furnace

Heat distribution: • [Ducts and registers](#)

Approximate age:

• [19 years](#)



49. 19 years

HEATING

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Failure probability: • [Low](#)

Main fuel shut off at:

- Exterior wall



50. Exterior wall

Fireplace:

- [Gas fireplace](#)

Living room



51. Gas fireplace

- [Gas fireplace](#)

Master bedroom

HEATING

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52. Gas fireplace

Chimney/vent: • [Wood over metal](#)

Chimney liner: • [Metal](#)

Recommendations

RECOMMENDATIONS \ Overview

12. **Condition:** • No heating recommendations are offered as a result of this inspection.

Description

Air conditioning type:

- [Air cooled](#)

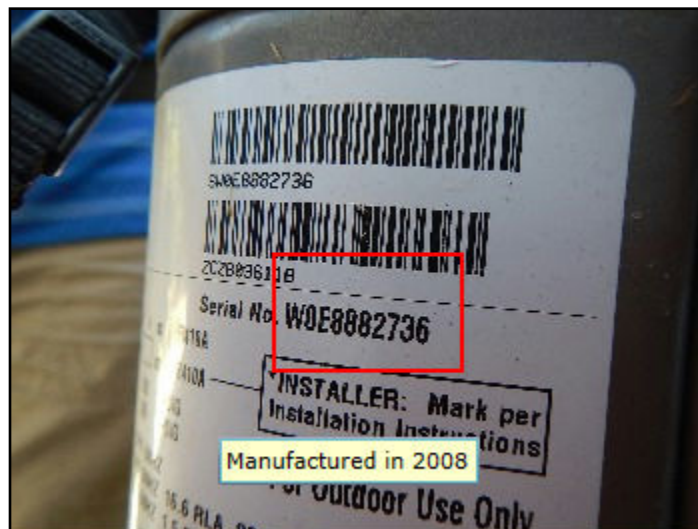


53. Air cooled

Manufacturer: • York

Compressor approximate age:

- 5 years



54. 5 years

COOLING & HEAT PUMP

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Recommendations

RECOMMENDATIONS \ Overview

13. Condition: • No air conditioning or heat pump recommendations are offered as a result of this inspection.

Description

Attic/roof insulation material:

- [Glass fiber](#)



55. Glass fiber

Attic/roof ventilation: • [Gable vent](#)

Attic/roof air/vapor barrier: • [None found](#)

Recommendations

ATTIC/ROOF \ Party wall

14. Condition: • [Penetrated](#)

The firewall in the garage was breached and should be patched.

Implication(s): Fire hazard

Location: Garage Attic

Task: Repair

Cost: \$300



56. Penetrated

Description

Water supply source: • Public

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the:

- West
- Exterior wall



57. Exterior wall

Water flow and pressure: • [Typical for neighborhood](#)

Water heater fuel/energy source: • [Gas](#)

Water heater type:

- [Conventional](#)

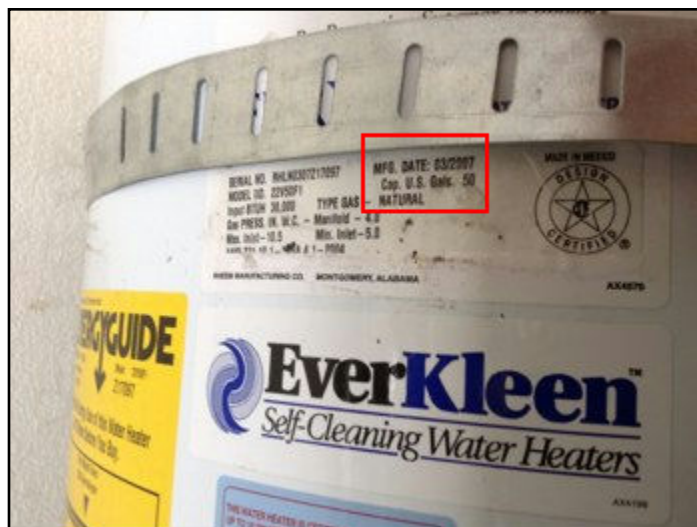


58. Conventional

Tank capacity: • 50 gallons

Water heater approximate age:

• 6 years



59. 6 years

Typical life expectancy: • 8 to 12 years

Hot water circulating system:

- [Present](#)



60. Present

Waste piping in building: • [ABS plastic](#)

Gas piping: • Steel

Limitations

Items excluded from a home inspection: • Concealed plumbing • Water heater relief valves are not tested • Spa

Recommendations

WATER HEATER \ Tank

15. Condition: • Seismic Bracing Incorrect

The seismic strapping should be 4" above controls and lower than the T and P valve without resting on it.

Implication(s): Equipment damage

Location: Garage

Task: Correct

Cost: Less than \$100



61. Seismic Bracing Incorrect

16. Condition: • Safety pan and drain missing

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Garage

Task: Provide

Cost: Less than \$100



62. Safety pan and drain missing

FIXTURES AND FAUCETS \ Bathtub

17. Condition: • [Grout loose, missing or deteriorated](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Master Bathroom

Task: Repair

Cost: Less than \$100



63. Grout loose, missing or deteriorated

FIXTURES AND FAUCETS \ Shower stall

18. Condition: • [Caulking loose, missing or deteriorated](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Master Bathroom

Task: Seal with appropriate caulking

Cost: Less than \$100



64. Caulking loose, missing or deteriorated

Description

Major floor finishes: • [Laminate](#) • Tile

Windows: • [Fixed](#) • [Single/double hung](#) • [Sliders](#) • Metal

Glazing: • [Double](#)

Exterior doors - type/material: • [Sliding glass](#) • [Solid wood](#)

Limitations

Inspection limited/prevented by: • Storage/furnishings

Recommendations

WINDOWS \ Hardware

19. Condition: • [Broken](#)

Broken hardware was observed on several windows.

Implication(s): Cosmetic defects | System inoperative or difficult to operate

Location: Throughout

Task: Replace

Cost: \$300 - \$400



65. Broken



66. Broken

INTERIOR

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67. Broken



68. Broken



69. Broken

END OF REPORT