



YOUR INSPECTION REPORT

The best home inspection experience available.

PREPARED BY:

David Humphrey



FOR THE PROPERTY AT:

2817 Samarkand Drive
Santa Barbara, CA 93105

PREPARED FOR:

T ^ Á|a} c

INSPECTION DATE:

Wednesday, May 22, 2013



Santa Barbara Home Inspector
3905 State Street, Suite 7346
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SUMMARY

2817 Samarkand Drive, Santa Barbara, CA May 22, 2013

Report No. 1050

www.sbhomeinspector.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

This report begins with a Summary section. The Summary section simply isolates all of the inspectors recommendations from the other sections in the report and groups them together in list form for easy reference.

More comprehensive descriptions and details, including pictures, will be found in the sections following the Summary section. The Summary is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

In this report each recommendation begins with a Condition. It is important to note that all homes, even brand new homes, have existing conditions that are notable. Conditions are not necessarily defects nor does each condition necessarily demand immediate remediation.

In the Summary section of this report Conditions are broken down into sub-categories to help the reader decide both the priority and necessity of addressing any recommendations. The Condition will be highlighted with a color that corresponds to one of the following sub-categories:

Red= Health and Safety (Recommend evaluation and repair of these conditions as soon as practical by a licensed contractor or appropriate technician.)

Yellow= Malfunction or Defect (Recommend evaluation and repair of these conditions by a licensed contractor or appropriate technician.)

Orange= Maintenance (Recommend routine maintenance by a person with the appropriate skill set.)

Pink= Upgrade or Caution (Upgrades are usually conditions that were acceptable at the time of construction but do not satisfy present standards. Cautions are for the purpose of disclosing conditions that may require extra care or monitoring.)

[Priority Maintenance Items](#)

Roofing

SLOPED ROOFING \ Asphalt shingles

Condition: • **Old, worn out**

Almost all of the ridge cap shingles were worn out and deteriorated. The rest of the shingles appeared to be old but still had some life in them. Recommend replacing ridge cap shingles for certain.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Roof

Task: Replace ridge cap shingles

Condition: • **Exposed fasteners**

Exposed fasteners were observed. Recommend removing and/or sealing as needed.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various Roof

Task: Repair as needed

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SLOPED ROOF FLASHINGS \ Valley flashings

Condition: • The valley flashings were full of seasonal debris. Recommend cleaning to prevent material deterioration.

Implication(s): Material deterioration.

Location: Roof

Task: Clean valley flashing

Exterior

ROOF DRAINAGE \ Gutters

Condition: • Clogged

The gutters were full of dirt and debris as well as vegetation. Recommend cleaning.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Task: Clean

Condition: • Rust

Some sections of gutter were rusted through and need to be replaced.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various

Task: Replace

ROOF DRAINAGE \ Downspouts

Condition: • Too few

There did not appear to be an adequate number of downspouts. Recommend further evaluation from a licensed drainage contractor.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Task: Further evaluation

Condition: • Should discharge 6ft. from home

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Task: Correct

WALLS \ Soffits and fascia

Condition: • Rot or insect damage

Several areas of dry rot and insect damage were observed on various parts of the fascia. Recommend pest inspection. Recommend repairing as needed.

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Southwest Roof

Task: Repair

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Condition: • **Damage**

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure

Location: Northwest soffit

Task: Repair and seal

WALLS \ Stucco and EIFS

Condition: • **No drip screed**

This home was built prior to weep screed being required to allow stucco to completely dry after seasonal wet weather. Try to keep soil/stucco contact to a minimum as well as ensuring grade slopes away from home to prevent foundation undermining.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Throughout Exterior

Task: Grade soil away from base

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Columns

Condition: • **Rot or insect damage**

Dry rot or insect damage was observed on the column on the front patio. Recommend pest inspection and repair.

Implication(s): Weakened structure | Chance of movement

Location: North entry patio

Task: Pest inspection and repair

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings

Condition: • **Steps springy, loose or sagging**

Implication(s): Trip or fall hazard

Location: South Deck

Task: Repair or replace

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • **Unconventional or improper construction methods were used to stabilize the back railing.** Recommend replacement by a licensed contractor.

Implication(s): Fall hazard

Location: South Deck Railing Posts

Task: Replace

Condition: • **Missing**

The handrail should be continuous for the full length of the flight of stairs, measured from a point directly above the top riser to a point directly above the lowest riser of the flight. The non-circular handgrip is incorrect. A non-circular handgrip with a perimeter minimum of 4 inches and a maximum of 6 1/4 inches should have a maximum cross section of 2 1/4 inches. A non-circular handgrip with a perimeter greater than 6 1/4 inches should have a graspable finger recess on both sides.

Implication(s): Fall hazard

Location: South

Task: Provide

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Condition: • Rot or insect damage

Rot and insect damage was observed throughout the back deck railing. Recommend replacing.

Implication(s): Fall hazard

Location: South Deck

Task: Repair or replace

LANDSCAPING \ Lot grading

Condition: • Improper slope

The front of the yard slopes toward the house meaning seasonal run off and/or irrigation may undermine the foundation or cause moisture in the crawl space. Recommend installing catch basins and directing water around perimeter and downhill.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: North Exterior Yard

Task: Provide catch basins and drains

LANDSCAPING \ Driveway

Condition: • Uneven (trip hazard)

The concrete driveway may have been poured at a time when re-enforcement steel bar was not required. Recommend improving when able.

Implication(s): Physical injury

Location: Driveway

Task: Improve

LANDSCAPING \ General

Condition: • Trees or shrubs too close to house

The shrubs on the east side of the home were too close. They were resting on the east side roof and gutters which causes material deterioration.

Implication(s): Chance of water damage to contents, finishes and/or structure | Chance of pests entering house | Material deterioration

Location: East Exterior

Task: Cut back

LANDSCAPING \ Fence

Condition: • Gate - adjustment needed

Implication(s): Reduced operability

Location: West Exterior gate

Task: Repair latch as needed

Condition: • Rot or insect damage

Implication(s): Material deterioration

Location: West exterior gate

Task: Repair as needed

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Structure

FOUNDATIONS \ Performance

Condition: • Acceptable

ROOF FRAMING \ Sheathing

Condition: • [Water stains](#)

Water stains were noted in the attic around the chimney. Recommend requesting disclosure to see if the issue was resolved prior to the remodel of the interior. Otherwise further evaluation will be required to ensure it is not an active problem.

Implication(s): Material deterioration

Location: Attic around chimney

Task: Request disclosure

Electrical

SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

Condition: • [Breaker "on" not in use](#)

Implication(s): Electric shock; fire hazard

Location: Electrical panel

Task: Turn off

DISTRIBUTION SYSTEM \ Wiring - damaged or exposed

Condition: • [Exposed in attics](#)

Exposed and improper wiring observed in multiple locations in attic. Risk of fire and electric shock. Recommend repair by a licensed electrician.

Implication(s): Electric shock

Location: Throughout Attic

Task: Repair

DISTRIBUTION SYSTEM \ Wiring - installation

Condition: • [Abandoned wire](#)

Abandoned electrical wiring was observed in the crawlspace. Recommend further evaluation and repair by a licensed electrician.

Implication(s): Electric shock

Location: Crawl Space

Task: Further evaluation and repair

DISTRIBUTION SYSTEM \ Junction boxes

Condition: • [Cover loose or missing](#)

Several junction boxes were observed with missing covers and exposed wiring. Recommend repair by a licensed electrical contractor.

Implication(s): Electric shock | Fire hazard

Location: Crawl Space

Task: Provide

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DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • **Ungrounded**

A receptacle at the laundry area in the garage is ungrounded and the connecting dryer receptacle is suspect. Recommend further evaluation by a licensed electrician.

Implication(s): Electric shock

Location: Garage

Task: Further evaluation

Condition: • **Ground Fault Interrupter (GFI) needed**

Implication(s): Electric shock

Location: North Exterior

Task: Provide GFCI and cover

DISTRIBUTION SYSTEM \ Smoke detectors

Condition: • **Improper or incomplete smoke alarm installation** According to Cal Fire you should install smoke alarms in every bedroom, in the hallways leading to the bedrooms, and on each level of your home, including the basement. Smoke alarms should be mounted on the ceiling 4" from the wall; wall mounts should be 4"-12" from the ceiling. Do not install near draft areas (windows, vents.). Call your local fire department if you are unsure about placement.

Test your smoke alarm. A suggested frequency is every month by simply holding down the test button. Vacuum your alarm at least once a year. Dust and cobwebs can impair sensitivity. Never paint over a smoke alarms. Smoke alarms should be replaced every 10 years.

Implication(s): Fire and safety issue

Location: Throughout

Task: Provide

DISTRIBUTION SYSTEM \ Carbon monoxide (CO) detectors

Condition: • **Improper or incomplete carbon monoxide detector installation** According to the 2005 edition of the carbon monoxide guidelines published by the National Fire Protection Association, sections 5.1.1.1 and 5.1.1.2, all CO detectors shall be centrally located outside of each separate sleeping area in the immediate vicinity of the bedrooms, and each detector shall be located on the wall, ceiling or other location as specified in the installation instructions that accompany the unit.

Implication(s): Fire and safety issue

Location: Throughout

Task: Provide

Heating

GAS FURNACE \ Life expectancy

Condition: • **Inoperative**

The gravity heater was inoperative at the time of this inspection. Recommend further evaluation by a licensed heating contractor.

Implication(s): No heat for house

Location: Crawl Space

Task: Repair or replace

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GAS FURNACE \ Venting system

Condition: • **Poor connections**

The venting from the furnace appears to be unsealed as it enters the chimney in the crawlspace. Recommend further evaluation and repair by a licensed heating contractor.

Implication(s): Equipment not operating properly | Hazardous combustion products entering home

Location: Crawl Space

Task: Further evaluation

FIREPLACE \ Fireplace gas igniter

Condition: • **Pipe obstructed**

A kink in the gas line was observed in the fireplace. Recommend repair by a licensed professional.

Implication(s): Equipment not operating properly | Increased fire hazard

Location: Fireplace

Task: Repair or replace

FIREPLACE \ Gas fireplace

Condition: • **Damper in existing fireplace not fixed open**

Gas run fireplaces must have a fixed open damper to allow the escape of hazardous gases at all times. Recommend providing.

Implication(s): Hazardous combustion products entering home

Location: Fireplace

Task: Provide

CHIMNEY AND VENT \ Inspect/sweep chimney

Condition: • **Inspect (and/sweep if needed) before using**

Implication(s): Fire hazard

CHIMNEY AND VENT \ Masonry chimney

Condition: • **Cracked**

Implication(s): Chance of water damage to contents, finishes and/or structure | Shortened life expectancy of material

Location: Chimney

Task: Repair crack

CHIMNEY AND VENT \ Masonry chimney cap

Condition: • **Missing**

Implication(s): Chance of water damage to contents, finishes and/or structure | Shortened life expectancy of material

Location: Chimney

Task: Provide cap and spark arrestor

Insulation and Ventilation

ATTIC/ROOF \ Insulation

Condition: • **Evidence of rodents was observed on the insulation in the attic.** Recommend further evaluation by a pest control specialist.

Implication(s): Presence of rodents

Location: Attic

Task: Further evaluation

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ATTIC/ROOF \ Roof vents

Condition: • **Obstructed**

The roof was ventilated by soffit vents which appeared to be obstructed by the mounds of excess insulation in the attic. Recommend removing excess insulation and exposing soffit vents to attain proper air flow. Attic was extremely hot at the time of this inspection.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Attic

Task: Correct issue

Plumbing

SUPPLY PLUMBING \ Supply piping in building

Condition: • **Poor support**

Long runs of unsupported water supply line observed in crawlspace. Recommend repair by a licensed plumber.

Implication(s): Chance of water damage to contents, finishes and/or structure | Leakage

Location: Crawl Space

Task: Repair

WASTE PLUMBING \ Drain piping - performance

Condition: • **Leak**

Evidence of leaking and improper drain connections noted. Recommend further evaluation and repair by a licensed plumbing contractor.

Implication(s): Sewage entering the house

Location: Crawl Space

Task: Further evaluation and repair

Condition: • **Split, damaged, crimped pipe**

A large portion of the cast iron drains in the crawlspace appeared split, rusted, damaged and oozing. Recommend further evaluation and repair of entire waste system by a licensed plumbing contractor.

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the house

Location: Crawl Space

Task: Further evaluation and repair

FIXTURES AND FAUCETS \ Faucet

Condition: • **Stiff or inoperative**

No cold water was available from the left hand sink in the bathroom due to an inoperative valve.

Implication(s): System inoperative or difficult to operate

Location: Bathroom

Task: Repair

FIXTURES AND FAUCETS \ Toilet

Condition: • **Obstructed or weak flush**

Both toilets exhibited poor flushing mechanics at the time of this inspection. Recommend further evaluation and repair by a licensed plumber.

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the house

Location: Bathrooms

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Task: Repair or replace

FIXTURES AND FAUCETS \ Bathtub

Condition: • **Caulking loose, missing or deteriorated**

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Bathroom

Task: Repair

FIXTURES AND FAUCETS \ Hose bibb

Condition: • **Backflow prevention missing**

Implication(s): Contaminated drinking water

Location: Throughout Exterior

Task: Provide

Interior

FLOORS \ Subflooring

Condition: • **Rot**

Signs of moisture damage including rot were observed on the subfloor in the bathroom areas. Recommend requesting disclosure to determine if damage is from an old or existing issue.

Implication(s): Weakened structure | Chance of structural movement

Location: South and East Crawl Space

Task: Request disclosure and repair

WALLS \ Plaster or drywall

Condition: • **Cracked**

The walls throughout the home were covered in thin cracks from what appears to be the settling of a thin plaster top coat.

Implication(s): Cosmetic defects

Location: Throughout

Task: Repair as necessary

CEILINGS \ Plaster or drywall

Condition: • **The Ceilings throughout the home were covered in thin cracks** from what appears to be the settling of a thin plaster top coat.

Implication(s): Cosmetic defect

Location: Throughout

Task: Repair as necessary

CRAWLSPACE \ Wet crawlspace - evidence

Condition: • **Dampness on floor or walls**

Moisture was observed along the east wall in the crawlspace. Recommend regrading east exterior away from home to control moisture intrusion. Seek assistance from a licensed drainage contractor.

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: East Crawl Space wall

Task: Regrade exterior of east wall

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Condition: • Efflorescence

Heavy efflorescence was observed on all of the perimeter foundation walls of the crawlspace indicating the presence of moisture. Moisture staining was observed beneath the crawlspace vent indicating moisture intrusion through the vent most likely seasonal. Recommend seeking professional help in formulating a water run off management plan to avoid moisture damage.

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure

Location: Throughout Crawl Space

Task: Manage seasonal run off

GARAGE \ Floor

Condition: • Cracked

Large crack in garage floor was patched.

Implication(s): Uneven floors

Location: Carport

Task: Monitor

GARAGE \ Man-door into garage

Condition: • No self closer

The man-door from the garage to the house interior is required to be self closing. No self closing hardware was observed at the time of this inspection.

Implication(s): Hazardous combustion products entering home

Location: Garage

Task: Provide self closer

EXHAUST FANS \ Exhaust duct

Condition: • Not vented to exterior

Both bathroom exhaust fans were venting directly into the attic.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Attic

Task: Vent to exterior

APPLIANCES \ Dryer

Condition: • The dryer vent was damaged.

Implication(s): Improper operation

Location: Exterior Wall

Task: Repair

APPLIANCES \ Doorbell

Condition: • Inoperative

Implication(s): Equipment inoperative

Location: Front Exterior Wall

Task: Repair or replace

THIS CONCLUDES THE SUMMARY SECTION

The costs (if any) provided are the opinion of the Home Inspector at the time of the report and are based on his professional experience as a CA State Licensed General Contractor and regional averages. They are not a solicitation to perform work nor should they be relied upon as anything other than a ballpark estimate.

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DESCRIPTION OF REPORT

The report that follows includes a Description of the systems and components in the house as well as any Limitations that may have restricted my inspection. The most important part of the report is the Recommendations section. It is here that I identify any defects in the home and suggest improvements.

Please read the report carefully, and feel free to ask any questions that you may have. Again, I will remind you that a home inspection addresses visually accessible components of the home, and does not include destructive testing. I will operate mechanical systems with normal homeowner controls. Where there are many systems of a similar type in a home, I inspect a representative sample.

As you read the report, I encourage you to contact me if you have any questions about the report or the home.

[Home Improvement - ballpark costs](#)

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Description

General: • Roofing



1. Roofing

Sloped roofing material: • [Asphalt shingles](#)

Limitations

Inspection performed: • By walking on roof

Recommendations

SLOPED ROOFING \ Asphalt shingles

1. Condition: • [Old, worn out](#)

Almost all of the ridge cap shingles were worn out and deteriorated. The rest of the shingles appeared to be old but still had some life in them. Recommend replacing ridge cap shingles for certain.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Roof

Task: Replace ridge cap shingles



2. Old, worn out



3. Old, worn out

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2. Condition: • [Exposed fasteners](#)

Exposed fasteners were observed. Recommend removing and/or sealing as needed.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various Roof

Task: Repair as needed



4. Exposed fasteners

SLOPED ROOF FLASHINGS \ Valley flashings

3. Condition: • The valley flashings were full of seasonal debris. Recommend cleaning to prevent material deterioration.

Implication(s): Material deterioration.

Location: Roof

Task: Clean valley flashing



5. Full of debris

EXTERIOR

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Description

General: • Exterior



6. Exterior

Gutter & downspout material: • [Galvanized steel](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Hillside](#)

Wall surfaces : • [Stucco](#)

Limitations

Inspection limited/prevented by: • Storage • Inaccessible wall

Recommendations

ROOF DRAINAGE \ Gutters

4. Condition: • [Clogged](#)

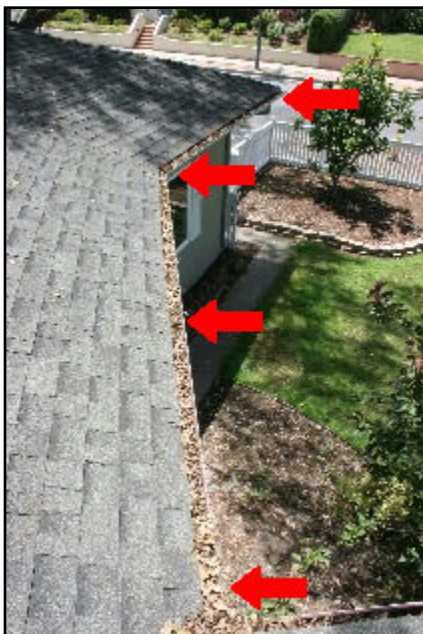
The gutters were full of dirt and debris as well as vegetation. Recommend cleaning.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Task: Clean

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7. Clogged



8. Clogged

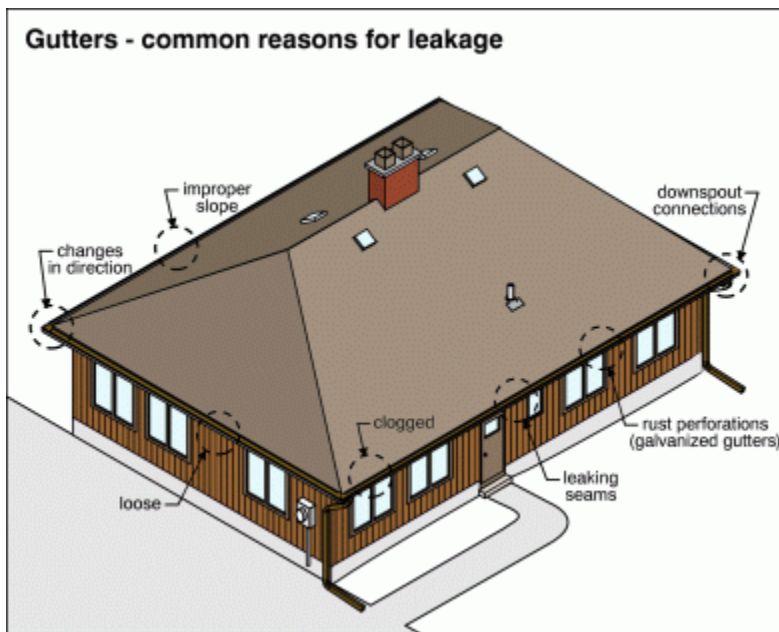
5. Condition: • [Rust](#)

Some sections of gutter were rusted through and need to be replaced.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various

Task: Replace



[Click on image to enlarge.](#)

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9. Rust

10. Rust

ROOF DRAINAGE \ Downspouts

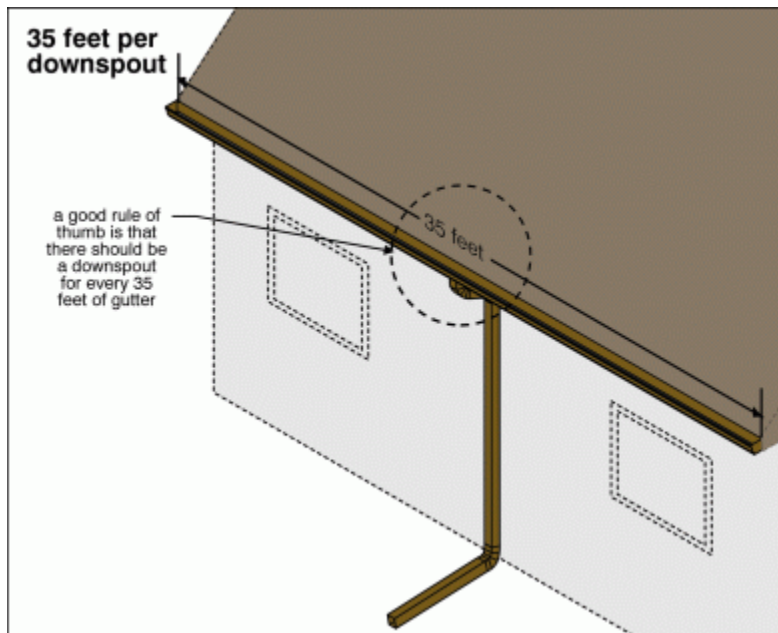
6. Condition: • [Too few](#)

There did not appear to be an adequate number of downspouts. Recommend further evaluation from a licensed drainage contractor.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Task: Further evaluation



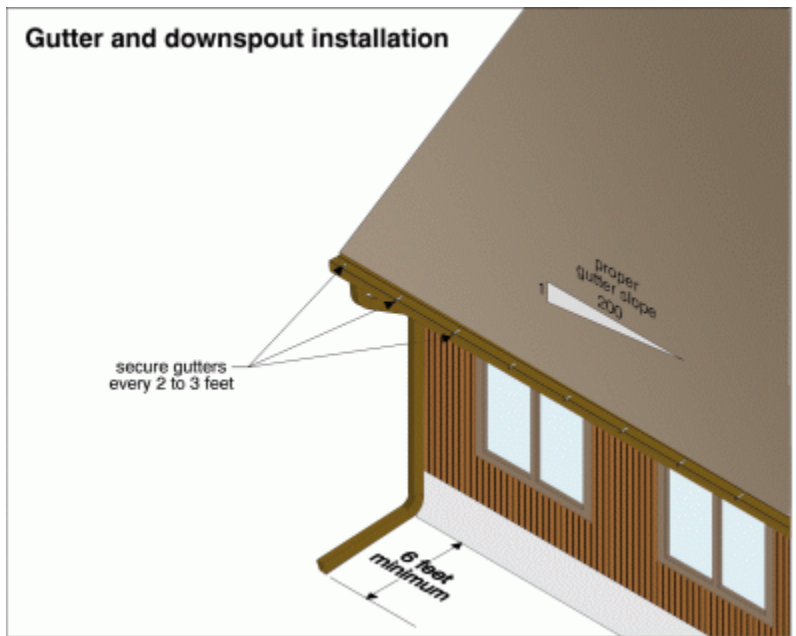
[Click on image to enlarge.](#)

7. Condition: • Should discharge 6ft. from home

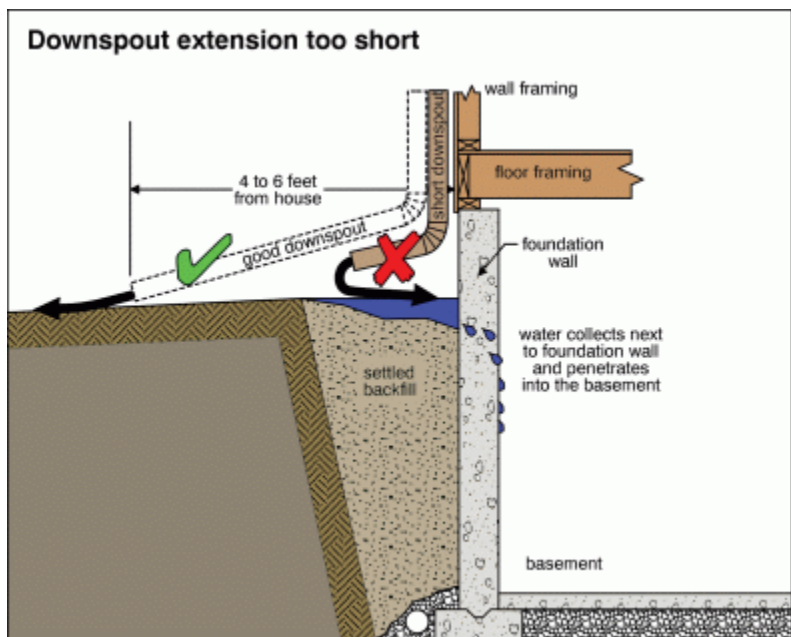
Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Task: Correct



[Click on image to enlarge.](#)



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11. Should discharge 6ft. from home



12. Should discharge 6ft. from home

WALLS \ Soffits and fascia

8. Condition: • Rot or insect damage

Several areas of dry rot and insect damage were observed on various parts of the fascia. Recommend pest inspection. Recommend repairing as needed.

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Southwest Roof

Task: Repair



13. Rot or insect damage

9. Condition: • [Damage](#)

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure

Location: Northwest soffit

Task: Repair and seal



14. Crack

WALLS \ Stucco and EIFS

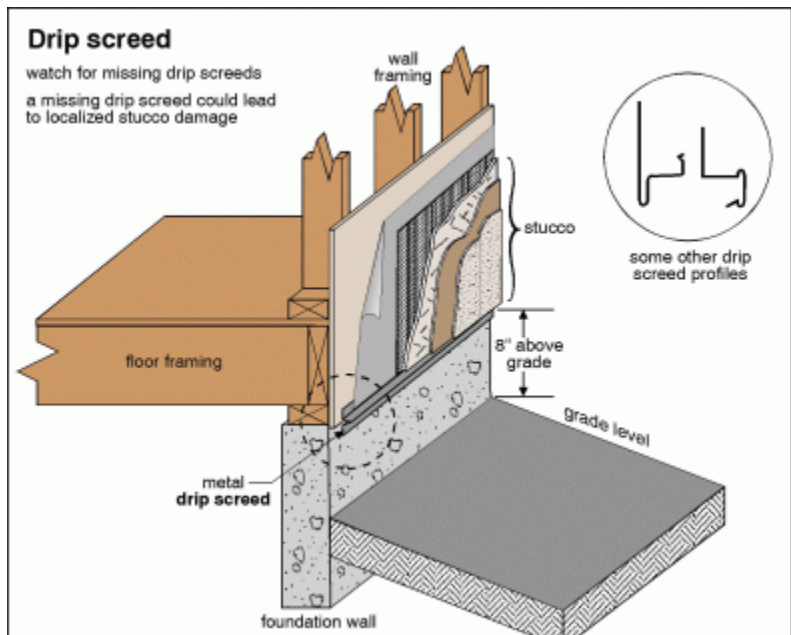
10. Condition: • [No drip screed](#)

This home was built prior to weep screed being required to allow stucco to completely dry after seasonal wet weather. Try to keep soil/stucco contact to a minimum as well as ensuring grade slopes away from home to prevent foundation undermining.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Throughout Exterior

Task: Grade soil away from base



Click on image to enlarge.



15. No drip screed

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Columns

11. Condition: • [Rot or insect damage](#)

Dry rot or insect damage was observed on the column on the front patio. Recommend pest inspection and repair.

Implication(s): Weakened structure | Chance of movement

Location: North entry patio

Task: Pest inspection and repair



16. Rot or insect damage



17. Rot or insect damage

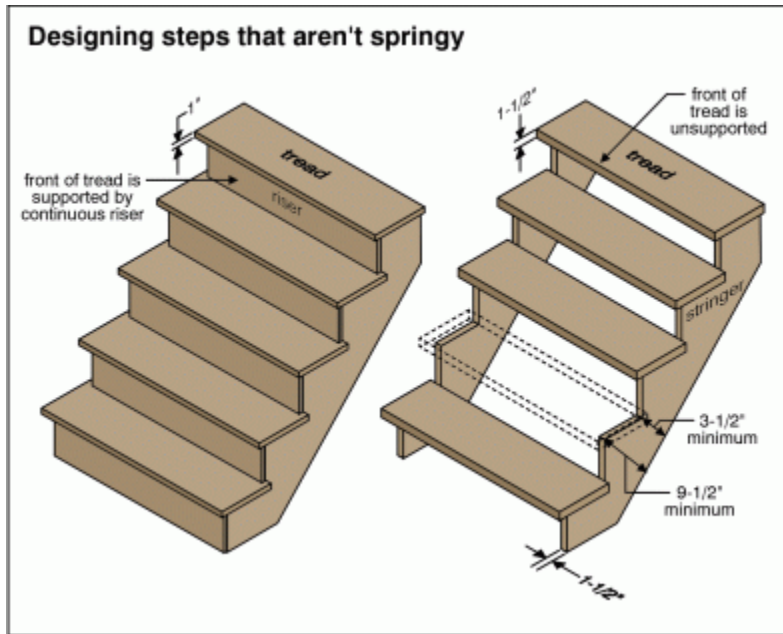
PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings

12. Condition: • [Steps springy, loose or sagging](#)

Implication(s): Trip or fall hazard

Location: South Deck

Task: Repair or replace



Click on image to enlarge.

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Handrails and guards

13. Condition: • Unconventional or improper construction methods were used to stabilize the back railing. Recommend replacement by a licensed contractor.

Implication(s): Fall hazard

Location: South Deck Railing Posts

Task: Replace



18. Improper

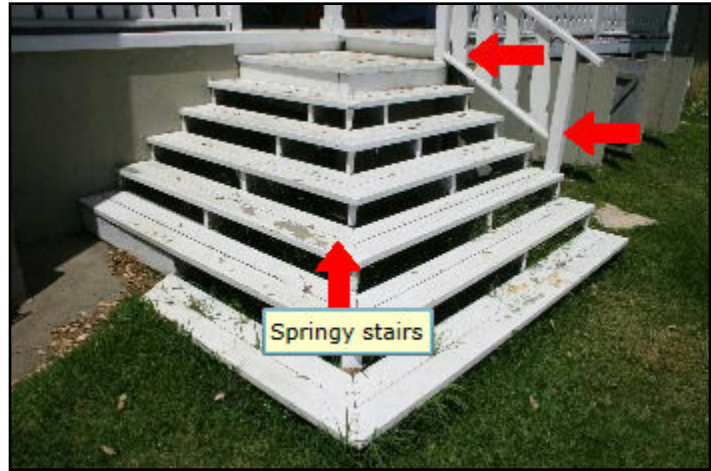
14. Condition: • [Missing](#)

The handrail should be continuous for the full length of the flight of stairs, measured from a point directly above the top riser to a point directly above the lowest riser of the flight. The non-circular handgrip is incorrect. A non-circular handgrip with a perimeter minimum of 4 inches and a maximum of 6 1/4 inches should have a maximum cross section of 2 1/4 inches. A non-circular handgrip with a perimeter greater than 6 1/4 inches should have a graspable finger recess on both sides.

Implication(s): Fall hazard

Location: South

Task: Provide



19. Improper

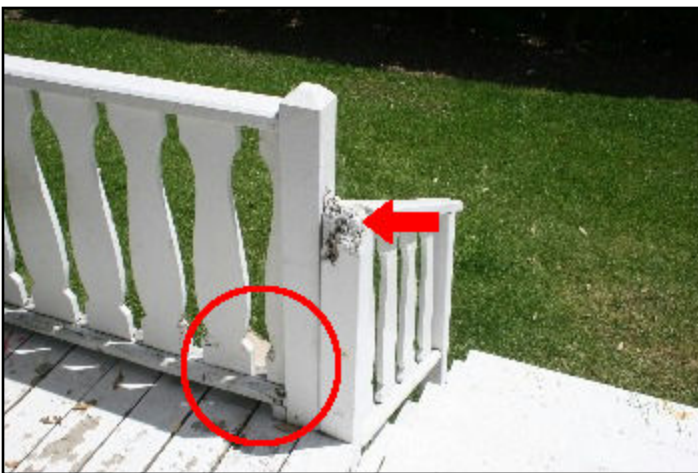
15. Condition: • [Rot or insect damage](#)

Rot and insect damage was observed throughout the back deck railing. Recommend replacing.

Implication(s): Fall hazard

Location: South Deck

Task: Repair or replace



20. Rot or insect damage



21. Rot or insect damage

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22. Rot or insect damage



23. Rot or insect damage

LANDSCAPING \ Lot grading

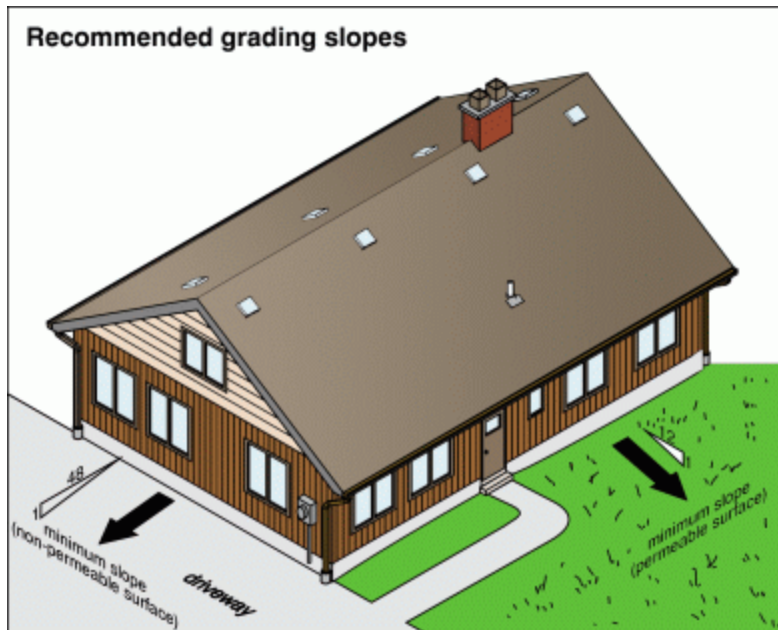
16. Condition: • [Improper slope](#)

The front of the yard slopes toward the house meaning seasonal run off and/or irrigation may undermine the foundation or cause moisture in the crawl space. Recommend installing catch basins and directing water around perimeter and downhill.

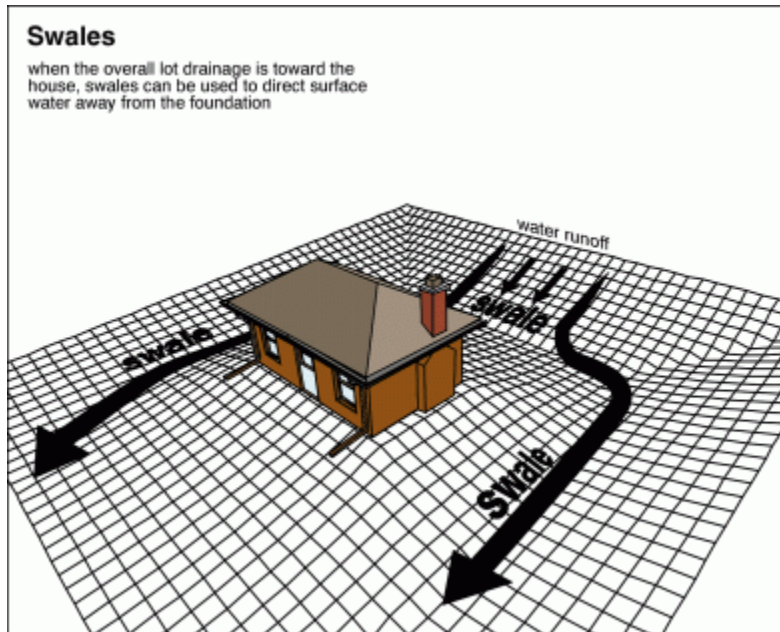
Implication(s): Chance of water damage to contents, finishes and/or structure

Location: North Exterior Yard

Task: Provide catch basins and drains



[Click on image to enlarge.](#)



Click on image to enlarge.



24. Improper slope

25. Improper slope

LANDSCAPING \ Driveway

17. Condition: • [Uneven \(trip hazard\)](#)

The concrete driveway may have been poured at a time when re-enforcement steel bar was not required. Recommend improving when able.

Implication(s): Physical injury

Location: Driveway

Task: Improve

EXTERIOR

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SUMMARY

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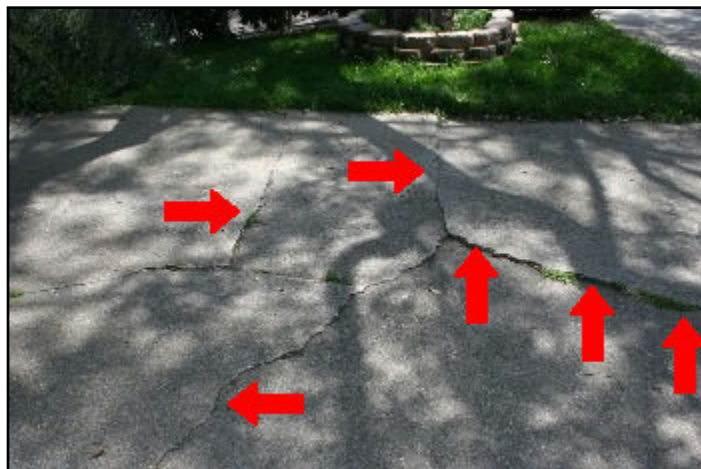
ELECTRICAL

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26. Uneven (trip hazard)

LANDSCAPING \ General

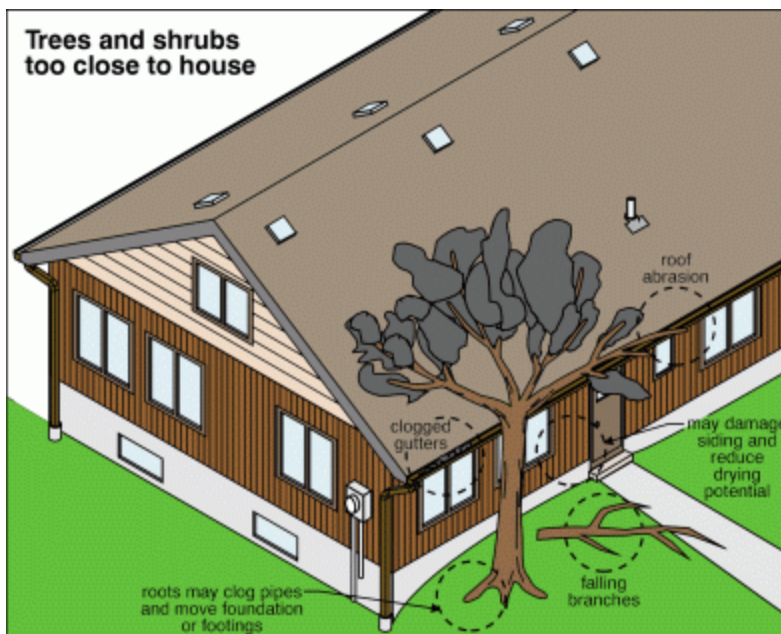
18. Condition: • [Trees or shrubs too close to house](#)

The shrubs on the east side of the home were too close. They were resting on the east side roof and gutters which causes material deterioration.

Implication(s): Chance of water damage to contents, finishes and/or structure | Chance of pests entering house | Material deterioration

Location: East Exterior

Task: Cut back



[Click on image to enlarge.](#)

EXTERIOR

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27. Trees or shrubs too close to house

LANDSCAPING \ Fence

19. **Condition:** • Gate - adjustment needed

Implication(s): Reduced operability

Location: West Exterior gate

Task: Repair latch as needed

20. **Condition:** • Rot or insect damage

Implication(s): Material deterioration

Location: West exterior gate

Task: Repair as needed



28. Rot or insect damage

Description

Configuration:

- [Crawl space](#)

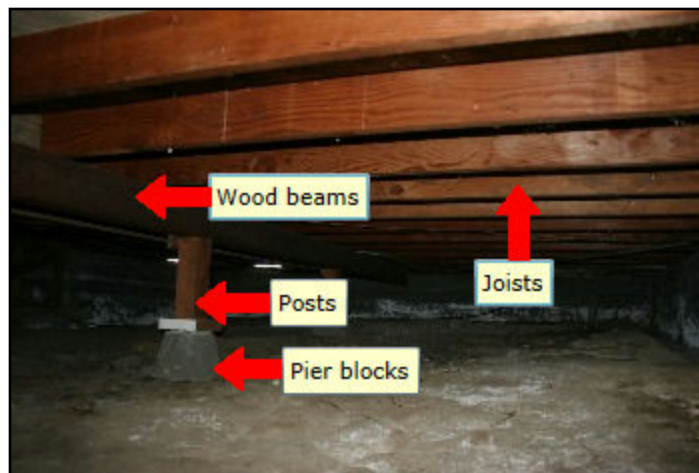


29. Crawl space

Foundation material: • [Poured concrete](#)

Floor construction:

- [Joists](#)



30. Joists

- Wood beams
- Subfloor - plank

Exterior wall construction: • [Wood frame](#)

Limitations

Inspection limited/prevented by: • New finishes/paint

Recommendations

FOUNDATIONS \ Performance

21. Condition: • Acceptable

ROOF FRAMING \ Sheathing

22. Condition: • [Water stains](#)

Water stains were noted in the attic around the chimney. Recommend requesting disclosure to see if the issue was resolved prior to the remodel of the interior. Otherwise further evaluation will be required to ensure it is not an active problem.

Implication(s): Material deterioration

Location: Attic around chimney

Task: Request disclosure



31. *Water stains*

- SUMMARY
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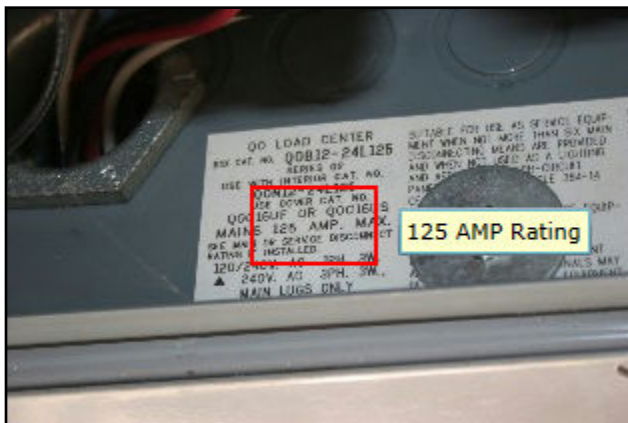
Description

Service entrance cable and location: • [Underground copper](#)

Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box rating:

- [125 Amps](#)



32. 125 Amps

Main disconnect/service box type and location:

- [Breakers - garage](#)



33. Breakers - garage



34. Breakers - garage

System grounding material and type: • [Not visible](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#) • [Copper - conduit](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#) • [GFCI - kitchen](#)

Smoke detectors:

• [Present](#)

See recommendations

Carbon monoxide (CO) detectors: • None noted

Limitations

System ground: • Quality of ground not determined

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Recommendations

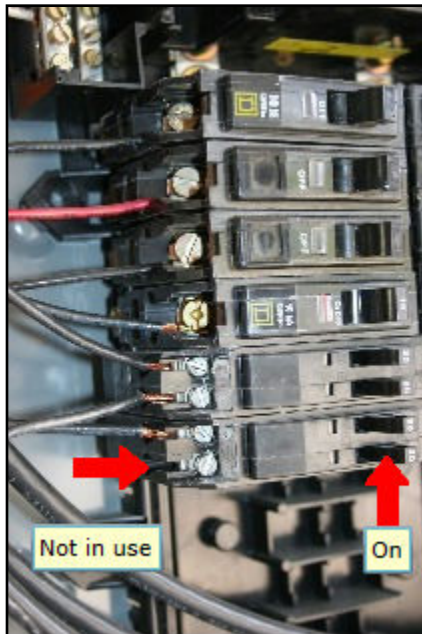
SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

23. Condition: • Breaker "on" not in use

Implication(s): Electric shock; fire hazard

Location: Electrical panel

Task: Turn off



35. Breaker 'On' not in use

DISTRIBUTION SYSTEM \ Wiring - damaged or exposed

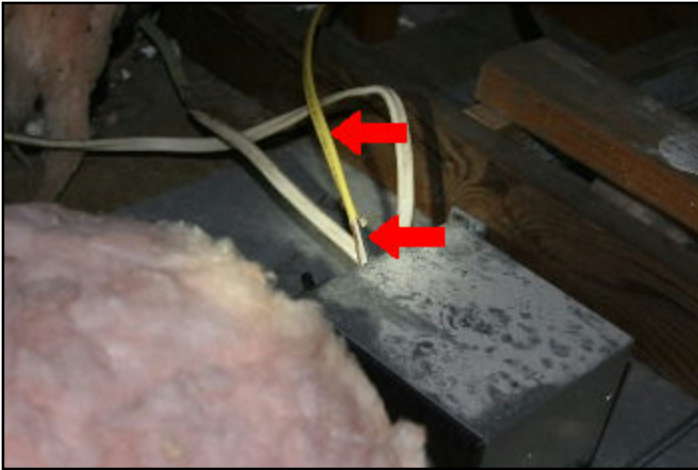
24. Condition: • [Exposed in attics](#)

Exposed and improper wiring observed in multiple locations in attic. Risk of fire and electric shock. Recommend repair by a licensed electrician.

Implication(s): Electric shock

Location: Throughout Attic

Task: Repair



36. Exposed in attics



37. Exposed in attics



38. Exposed in attics

DISTRIBUTION SYSTEM \ Wiring - installation

25. Condition: • [Abandoned wire](#)

Abandoned electrical wiring was observed in the crawlspace. Recommend further evaluation and repair by a licensed electrician.

Implication(s): Electric shock

Location: Crawl Space

Task: Further evaluation and repair



39. Abandoned wire



40. Abandoned wire

DISTRIBUTION SYSTEM \ Junction boxes

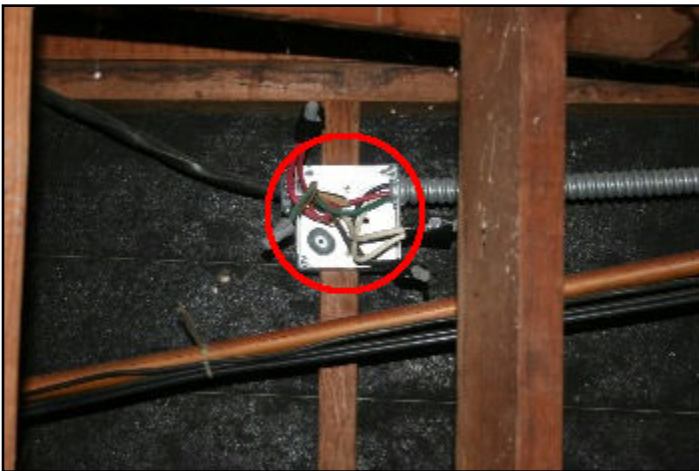
26. Condition: • [Cover loose or missing](#)

Several junction boxes were observed with missing covers and exposed wiring. Recommend repair by a licensed electrical contractor.

Implication(s): Electric shock | Fire hazard

Location: Crawl Space

Task: Provide



41. Missing, loose



42. Missing, loose

DISTRIBUTION SYSTEM \ Outlets (receptacles)

27. Condition: • [Ungrounded](#)

A receptacle at the laundry area in the garage is ungrounded and the connecting dryer receptacle is suspect. Recommend further evaluation by a licensed electrician.

Implication(s): Electric shock

Location: Garage

Task: Further evaluation



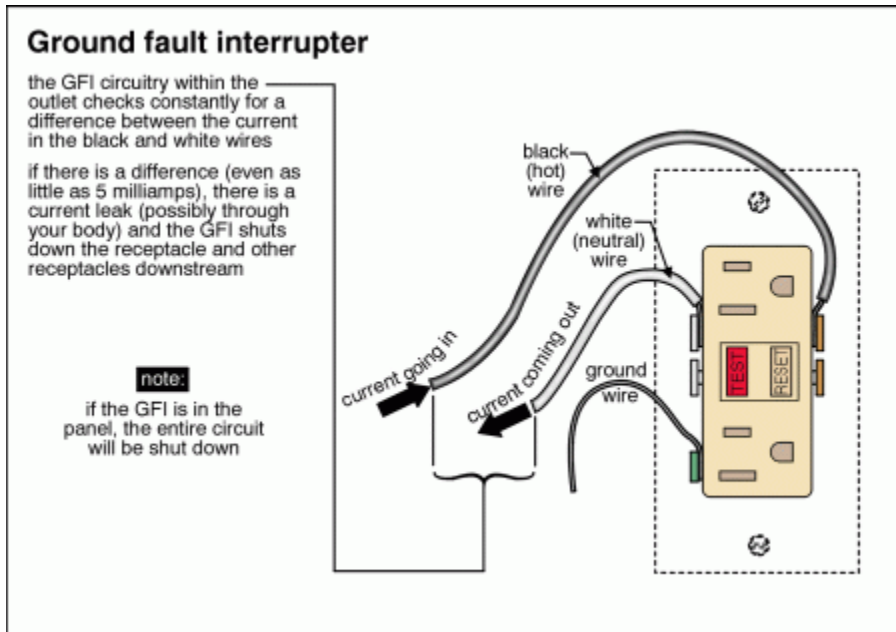
43. Ungrounded

28. Condition: • [Ground Fault Interrupter \(GFI\) needed](#)

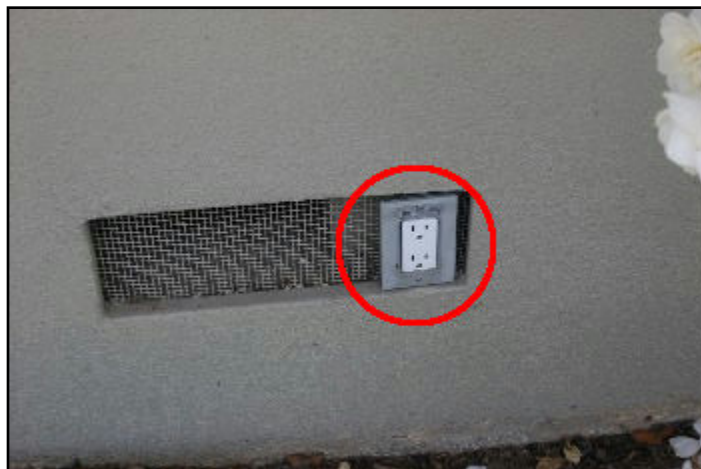
Implication(s): Electric shock

Location: North Exterior

Task: Provide GFCI and cover



[Click on image to enlarge.](#)



44. Ground Fault Interrupter (GFI) needed

DISTRIBUTION SYSTEM \ Smoke detectors

29. Condition: • Improper or incomplete smoke alarm installation. According to Cal Fire you should install smoke alarms in every bedroom, in the hallways leading to the bedrooms, and on each level of your home, including the basement. Smoke alarms should be mounted on the ceiling 4" from the wall; wall mounts should be 4"-12" from the ceiling. Do not install near draft areas (windows, vents.). Call your local fire department if you are unsure about placement.

Test your smoke alarm. A suggested frequency is every month by simply holding down the test button. Vacuum your alarm at least once a year. Dust and cobwebs can impair sensitivity. Never paint over a smoke alarms. Smoke alarms should be replaced every 10 years.

Implication(s): Fire and safety issue

Location: Throughout

Task: Provide

DISTRIBUTION SYSTEM \ Carbon monoxide (CO) detectors

30. Condition: • Improper or incomplete carbon monoxide detector installation. According to the 2005 edition of the carbon monoxide guidelines published by the National Fire Protection Association, sections 5.1.1.1 and 5.1.1.2, all CO detectors shall be centrally located outside of each separate sleeping area in the immediate vicinity of the bedrooms, and each detector shall be located on the wall, ceiling or other location as specified in the installation instructions that accompany the unit.

Implication(s): Fire and safety issue

Location: Throughout

Task: Provide

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Description

Fuel/energy source: • [Gas](#)

System type: • Gravity heater

System type: • [Fireplace](#)

Heat distribution: • [Ducts and registers](#)

Approximate age: • Near end of life expectancy

Main fuel shut off at:

- Meter



45. Meter

Fireplace:

- [Wood-burning fireplace](#)



46. Wood-burning fireplace

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Chimney/vent: • [Masonry](#)

Chimney liner: • [Clay](#)

Recommendations

GAS FURNACE \ Life expectancy

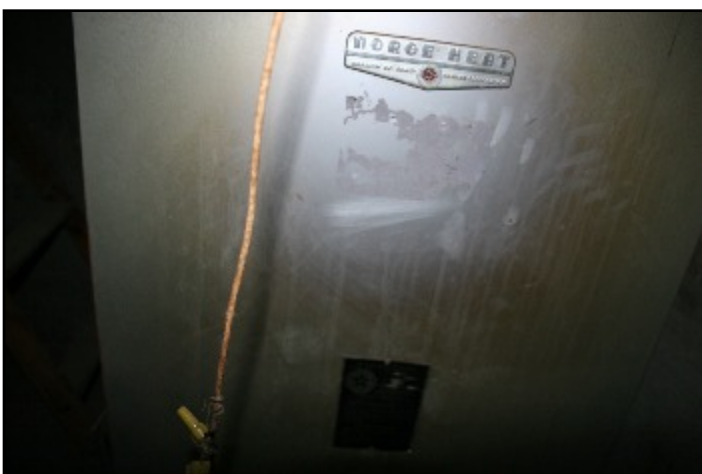
31. Condition: • [Inoperative](#)

The gravity heater was inoperative at the time of this inspection. Recommend further evaluation by a licensed heating contractor.

Implication(s): No heat for house

Location: Crawl Space

Task: Repair or replace



47. Inoperative



48. Inoperative

GAS FURNACE \ Venting system

32. Condition: • [Poor connections](#)

The venting from the furnace appears to be unsealed as it enters the chimney in the crawlspace. Recommend further evaluation and repair by a licensed heating contractor.

Implication(s): Equipment not operating properly | Hazardous combustion products entering home

Location: Crawl Space

Task: Further evaluation



49. Poor connections

FIREPLACE \ Fireplace gas igniter

33. Condition: • [Pipe obstructed](#)

A kink in the gas line was observed in the fireplace. Recommend repair by a licensed professional.

Implication(s): Equipment not operating properly | Increased fire hazard

Location: Fireplace

Task: Repair or replace



50. Pipe obstructed

FIREPLACE \ Gas fireplace

34. Condition: • [Damper in existing fireplace not fixed open](#)

Gas run fireplaces must have a fixed open damper to allow the escape of hazardous gases at all times. Recommend providing.

Implication(s): Hazardous combustion products entering home

Location: Fireplace

Task: Provide



51. Damper in existing fireplace not fixed open

CHIMNEY AND VENT \ Inspect/sweep chimney

35. Condition: • [Inspect \(and/sweep if needed\) before using](#)

Implication(s): Fire hazard

CHIMNEY AND VENT \ Masonry chimney

36. Condition: • [Cracked](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Shortened life expectancy of material

Location: Chimney

Task: Repair crack



52. Cracked

CHIMNEY AND VENT \ Masonry chimney cap

37. Condition: • [Missing](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Shortened life expectancy of material

Location: Chimney

Task: Provide cap and spark arrestor

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53. Missing



54. Missing

SUMMARY

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Description

General: • Insulation observed in attic space.



55. Insulation observed in attic space.

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value: • [R-20](#)

Attic/roof ventilation: • [Soffit vent](#)

Attic/roof air/vapor barrier: • [None found](#)

Limitations

Attic inspection performed: • By entering attic, but access was limited

Recommendations

ATTIC/ROOF \ Insulation

38. Condition: • Evidence of rodents was observed on the insulation in the attic. Recommend further evaluation by a pest control specialist.

Implication(s): Presence of rodents

Location: Attic

Task: Further evaluation

INSULATION AND VENTILATION

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56. Evidence of rodents

ATTIC/ROOF \ Roof vents

39. Condition: • [Obstructed](#)

The roof was ventilated by soffit vents which appeared to be obstructed by the mounds of excess insulation in the attic. Recommend removing excess insulation and exposing soffit vents to attain proper air flow. Attic was extremely hot at the time of this inspection.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Attic

Task: Correct issue



57. Obstructed



58. Obstructed

Description

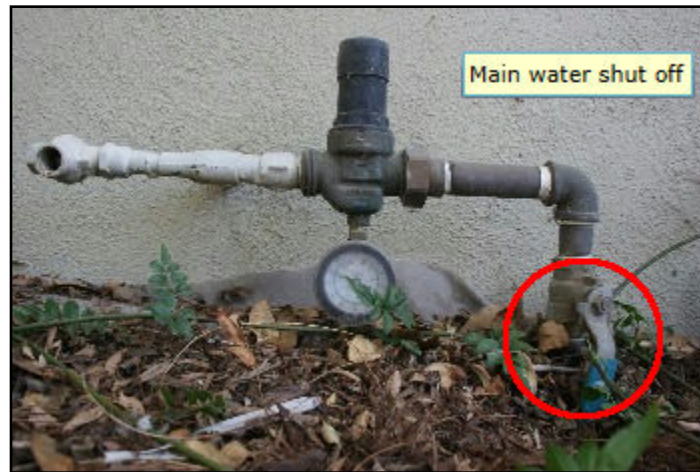
Water supply source: • Public

Service piping into building: • [Copper](#) • [Galvanized steel](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the:

• Exterior wall



59. Exterior wall

Water flow (pressure): • [Above average](#)

Water heater fuel/energy source: • [Gas](#)

Water heater type:

• [Conventional](#)

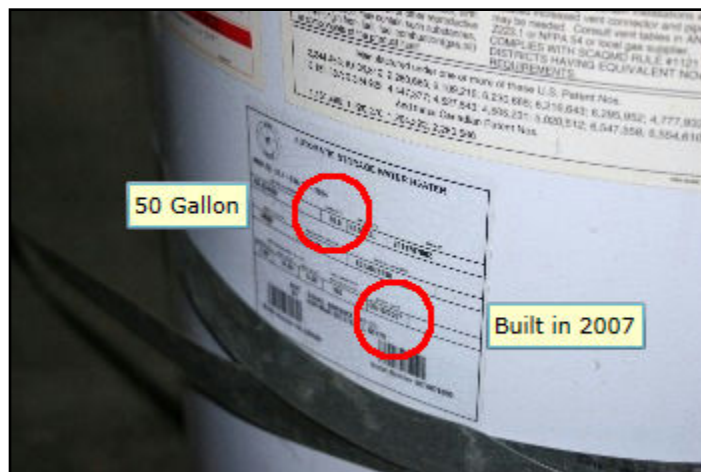


60. Conventional

Tank capacity: • 50 gallons

Water heater approximate age:

• 6 years



61. 6 years

Typical life expectancy: • 8 to 12 years

Water heater failure probability: • [Low](#)

Waste piping in building: • [ABS plastic](#) • [Cast Iron](#)

Water treatment system:

• Water softener



62. Water softener

• Reverse osmosis



63. Reverse osmosis

Limitations

Items excluded from a home inspection: • Concealed plumbing • Water treatment equipment

Recommendations

SUPPLY PLUMBING \ Supply piping in building

40. Condition: • [Poor support](#)

Long runs of unsupported water supply line observed in crawlspace. Recommend repair by a licensed plumber.

Implication(s): Chance of water damage to contents, finishes and/or structure | Leakage

Location: Crawl Space

Task: Repair



64. Poor support



65. Poor support

WASTE PLUMBING \ Drain piping - performance

41. Condition: • [Leak](#)

Evidence of leaking and improper drain connections noted. Recommend further evaluation and repair by a licensed plumbing contractor.

Implication(s): Sewage entering the house

Location: Crawl Space

Task: Further evaluation and repair



66. Leak



67. Leak

42. Condition: • [Split, damaged, crimped pipe](#)

A large portion of the cast iron drains in the crawlspace appeared split, rusted, damaged and oozing. Recommend further evaluation and repair of entire waste system by a licensed plumbing contractor.

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the house

Location: Crawl Space

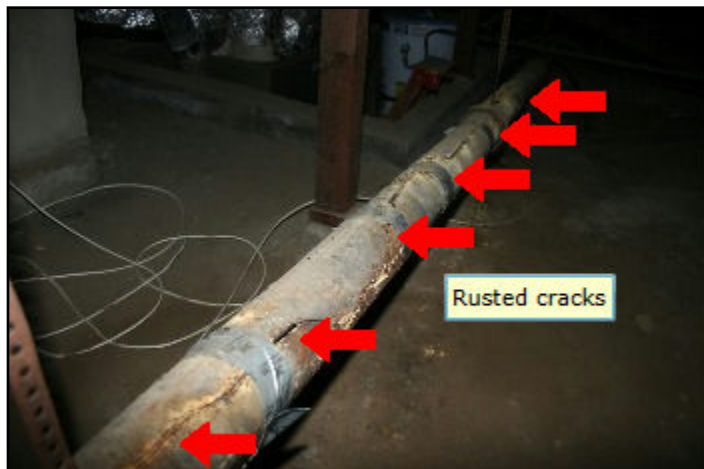
Task: Further evaluation and repair



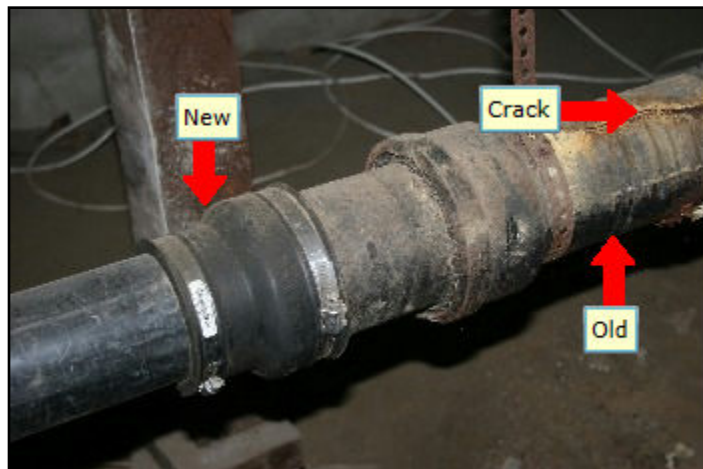
68. Split and damaged



69. Split and damaged



70. Split and damaged



71. Split and damaged

FIXTURES AND FAUCETS \ Faucet

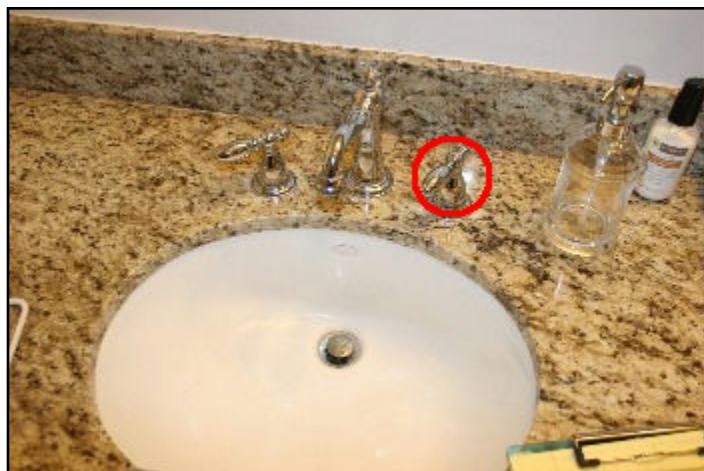
43. Condition: • [Stiff or inoperative](#)

No cold water was available from the left hand sink in the bathroom due to an inoperative valve.

Implication(s): System inoperative or difficult to operate

Location: Bathroom

Task: Repair



72. Inoperative



73. Inoperative

FIXTURES AND FAUCETS \ Toilet

44. Condition: • [Obstructed or weak flush](#)

Both toilets exhibited poor flushing mechanics at the time of this inspection. Recommend further evaluation and repair by a licensed plumber.

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the house

Location: Bathrooms

Task: Repair or replace



74. Obstructed or weak flush



75. Obstructed or weak flush

FIXTURES AND FAUCETS \ Bathtub

45. Condition: • [Caulking loose, missing or deteriorated](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Bathroom

Task: Repair



76. Caulking loose, missing or deteriorated



77. Caulking loose, missing or deteriorated

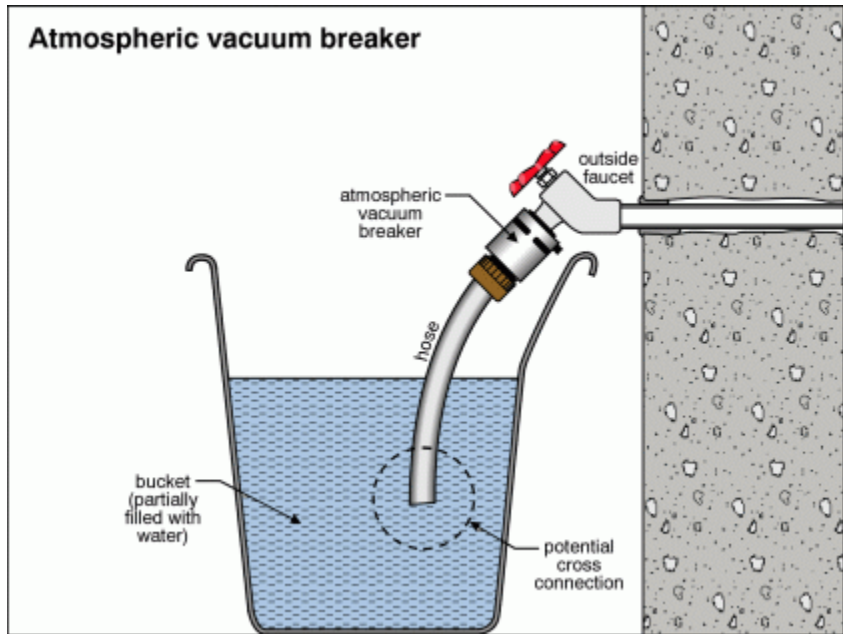
FIXTURES AND FAUCETS \ Hose bibb

46. Condition: • [Backflow prevention missing](#)

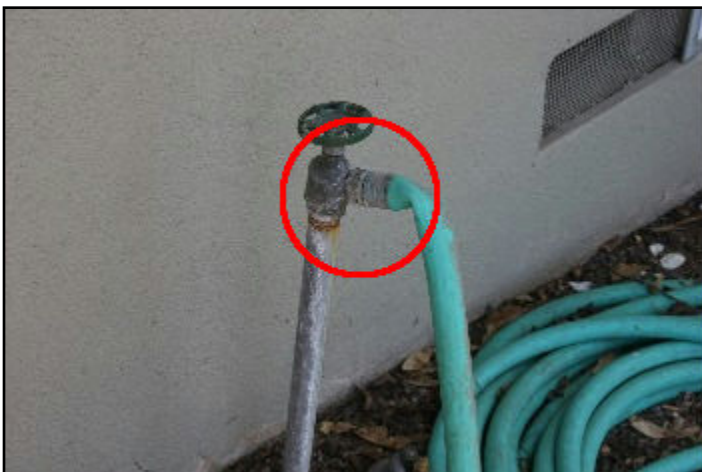
Implication(s): Contaminated drinking water

Location: Throughout Exterior

Task: Provide



[Click on image to enlarge.](#)



78. Backflow prevention missing



79. Backflow prevention missing

Description

Major floor finishes: • [Hardwood](#)

Windows: • [Sliders](#) • Vinyl

Glazing: • [Double](#)

Exterior doors - type/material: • [French](#)

Recommendations

FLOORS \ Subflooring

47. Condition: • [Rot](#)

Signs of moisture damage including rot were observed on the subfloor in the bathroom areas. Recommend requesting disclosure to determine if damage is from an old or existing issue.

Implication(s): Weakened structure | Chance of structural movement

Location: South and East Crawl Space

Task: Request disclosure and repair



80. Rot



81. Rot

WALLS \ Plaster or drywall

48. Condition: • [Cracked](#)

The walls throughout the home were covered in thin cracks from what appears to be the settling of a thin plaster top coat.

Implication(s): Cosmetic defects

Location: Throughout

Task: Repair as necessary

CEILINGS \ Plaster or drywall

49. Condition: • The Ceilings throughout the home were covered in thin cracks from what appears to be the settling of a thin plaster top coat.

Implication(s): Cosmetic defect

Location: Throughout

Task: Repair as necessary



82. Cracked

CRAWLSPACE \ Wet crawlspace - evidence

50. Condition: • [Dampness on floor or walls](#)

Moisture was observed along the east wall in the crawlspace. Recommend regrading east exterior away from home to control moisture intrusion. Seek assistance from a licensed drainage contractor.

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: East Crawl Space wall

Task: Regrade exterior of east wall



83. Dampness on floor or walls

51. Condition: • [Efflorescence](#)

Heavy efflorescence was observed on all of the perimeter foundation walls of the crawlspace indicating the presence of moisture. Moisture staining was observed beneath the crawlspace vent indicating moisture intrusion through the vent most likely seasonal. Recommend seeking professional help in formulating a water run off management plan to avoid moisture damage.

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure

Location: Throughout Crawl Space

Task: Manage seasonal run off

INTERIOR

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84. Efflorescence



85. Efflorescence

GARAGE \ Floor

52. Condition: • [Cracked](#)

Large crack in garage floor was patched.

Implication(s): Uneven floors

Location: Carport

Task: Monitor



86. Patched

GARAGE \ Man-door into garage

53. Condition: • [No self closer](#)

The man-door from the garage to the house interior is required to be self closing. No self closing hardware was observed at the time of this inspection.

Implication(s): Hazardous combustion products entering home

Location: Garage

Task: Provide self closer



87. No self closer

EXHAUST FANS \ Exhaust duct

54. Condition: • [Not vented to exterior](#)

Both bathroom exhaust fans were venting directly into the attic.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Attic

Task: Vent to exterior



88. Not vented to exterior

APPLIANCES \ Dryer

55. Condition: • The dryer vent was damaged.

Implication(s): Improper operation

Location: Exterior Wall

Task: Repair



89. *Damaged*

APPLIANCES \ Doorbell

56. Condition: • Inoperative

Implication(s): Equipment inoperative

Location: Front Exterior Wall

Task: Repair or replace



90. *Inoperative*

END OF REPORT